

TO: Historic Landmarks Commission

THROUGH: Lisa Anderson-Ogilvie, AICP, Deputy Community Development Director and Planning Administrator

FROM: Jake Morris, Historic Preservation Planner

HEARING DATE: April 16, 2026

CASE NO.: Historic Design Review Case No. HIS26-05

APPLICATION SUMMARY: A proposal to extend the front porch on the house located at 625 Church Street SE.

LOCATION: 625 Church St. SE

REQUEST: Class 3 Major Historic Design Review of a proposal to extend the existing front porch at 625 Church Street SE, a historic contributing property in the Gaiety Hill/Bushs Pasture Park Historic District in the RS (Single Family Residential) zone. (Marion County Assessor Map and Tax Lot Number: 073W27AC02400)

APPLICANT: Onpoint Fencing and Decking on behalf of Lisa Taylor

APPROVAL CRITERIA: Salem Revised Code (SRC) 230.065 General Guidelines for Historic Contributing Resources

RECOMMENDATION: **APPROVE** the proposal with the following Conditions:

Condition 1: The applicant shall paint the entire porch assembly to match the existing porch.

Condition 2: The applicant shall construct the porch balustrade to match the existing one in both design and materials.

BACKGROUND

On March 4, 2026, the applicant submitted materials for a Major Historic Design Review for a proposal to repair and enlarge the existing porch located on the primary east façade of the residence located at 625 Church Street SE (**Attachment A**). The application was deemed complete for processing on March 24, 2026.

Notice of public hearing was sent by mail to surrounding property owners and tenants pursuant to Salem Revised Code (SRC) requirements on March 26, 2026. Public hearing notice was also posted on the property in accordance with the posting provision outlined in SRC 300.620. The City of Salem Historic Landmarks Commission will hold a public hearing

for the case on April 16, 2026 at 5:30 p.m. in **Community Room, Salem Police Department, 333 Division Street NE, Salem, OR 97301**

The state-mandated 120-day deadline to issue a final local decision, including any local appeals in this case is July 24, 2026, unless an extension is granted by the applicant.

PROPOSAL

The applicant is requesting approval to modify the existing porch and balustrade. The current front porch has two separate sections, flanking the front entry of the house. The existing porches flank the north and southern sides of the projecting front entry and are currently 4' in depth by 13' in length and comprised of wood decking and characterized by a wooden rail supported by evenly spaced wooden rectangular balustrades. The existing do not currently extend beyond the projecting front bay of the historic resource. There is an existing wooden staircase with landing at the center of the resource, leading to the front entry.

The proposed new rectangular porch is proposed to extend across the entire front of the house, and will increase the depth of the existing porch deck by eight feet, projecting twelve feet from the main wall surface (5' 6" from the face of the projecting center entrance). The existing staircase will be removed and reconstructed at the center of the porch and will maintain the same dimensions as the existing staircase. A wooden balustrade is proposed around the perimeter of the porch to match the existing balustrade.

SUMMARY OF RECORD

The following items are submitted to the record and are available: 1) all materials and testimony submitted by the applicant, including any applicable professional studies such as traffic impact analysis, geologic assessments, stormwater reports, and; 2) materials, testimony, and comments from public agencies, City Departments, neighborhood associations, and the public. All application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. You may use the search function without registering and enter the permit number listed here: 26 105433.

APPLICANT'S STATEMENT

A request for historic design review must be supported by proof that it conforms to all applicable criteria imposed by the Salem Revised Code. The applicants submitted a written statement, which is included as **Attachment B** in this staff report.

Staff utilized the information from the applicant's statements to evaluate the applicant's proposal and to compose the facts and findings within the staff report. Salem Revised Code (SRC) 230.065 General Guidelines for Historic Contributing Resources are the applicable criteria for evaluation of this proposal.

FACTS & FINDINGS

1. Historic Designation

Under Salem Revised Code (SRC) Chapter 230, no development permit for a designated historic resource shall be issued without the approval of the Historic Landmarks Commission (HLC). The HLC shall approve, conditionally approve, or deny the application on the basis of the project's conformity with the criteria. Conditions of approval, if any, shall be limited to project modifications required to meet the applicable criteria.

According to SRC 230.020(f), historic design review approval shall be granted if the application satisfies the applicable standards set forth in Chapter 230. The HLC shall render its decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

2. Historic Significance

The Oregon Historic Site Record from 1986 describes the house as a one-story, rectangular bungalow of wood frame construction constructed c. 1920. Features noted in the description include the hip-on gable roof with open eaves and exposed rafters, composition shingles and a three-sided hip roof over a center front door. A historic image of the house taken in 1978 shows that it is set upon a low foundation, and the center projecting entrance is flanked by large window assemblies on both sides.

In 2004 an application for historic design review (HIS 04-09) was submitted by the then-owner to raise the foundation of the house, citing risk of flooding and pre-existing foundation deterioration at the rear of the house. Part of this application included installation of two new porches (on the south and north of the main entrance) to allow the French doors flanking the entrance to remain functional. The Historic Landmarks Commission decision required the initial design of the front porch to be revised to minimize impact on the house. The decision provided three alternatives: design the front porch to reflect its historical configuration based on physical or photographic evidence; design the front porch to reflect the style of the house based on similar houses in the area, or; design the front porch to reflect the style of 1920s cottages based on published historic plans and trade journals. The applicant subsequently corresponded with City staff. Finding no historic photographs taken prior to 1976, the approved design was based on features found on similar houses in the area. The approved design was all wooden construction with balconies approximately 4' deep flanking the existing center enclosed porch entrance, and a center staircase with a small landing in front of the entry door (**Attachment C**). This resource is recorded as historic contributing to Salem's Gaiety Hill/Bush's Pasture Park Historic District. The contributing classification was determined prior to the foundation elevation; however, several historic character-defining features remain intact, including the setback on lot, roof form, fenestration pattern, and roofing and siding materials.

3. Neighborhood Association and Public Comments

The subject property is located within the SCAN Neighborhood Association.

Neighborhood Association Comment: Notice of the application was provided to SCAN pursuant to SRC 300.620(b)(2)(B)(vii), which requires notice to be sent to any City-recognized neighborhood association whose boundaries include, or are adjacent to, the subject property. As of the date of completion of this staff report, SCAN provided comments including objection to the overall scale of the proposed porch alteration (**Attachment D**).

Homeowners Association: The subject property is not located within a Homeowners' Association.

Public Comment: Notice was also provided, pursuant to SRC 300.620(b)(2)(B)(iii), (viii), (ix) & (xiii), to all property owners and tenants within 250 feet of the subject property and all property owners within Salem's Gaiety Hill/Bush's Pasture Park Historic District. Signs were also posted on the subject property pursuant to SRC 300.620(b)(3)(A). As of the writing of this staff report, one public comment has been received (**Attachment D**).

4. City Department Comments

Building and Safety Division – Reviewed proposal and noted that a building permit was already applied for, and issued no additional comments regarding the proposal. No other City Department or Public Agency comments were received by the date of this report.

5. Public Agency Comments

No Public Agency comments were received by the date of this report

6. Historic Design Review

Salem Revised Code (SRC) 230.065 **General Guidelines for Historic Contributing Resources** are the criteria applicable to the evaluation of this proposal. Historic Landmarks Commission staff reviewed the project proposal and has the following findings for the applicable standards:

FINDINGS

230.065. GENERAL GUIDELINES FOR HISTORIC CONTRIBUTING RESOURCES. *In lieu of the standards for historic contributing buildings set forth in SRC 230.025 and SRC 230.040, an applicant may make a proposal for preservation, restoration, or rehabilitation activity, regardless of type of work, which shall conform to the following guidelines:*

(a) *Except as otherwise provided in this Chapter, the property shall be used for its historic purpose, or for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing.*

Findings: The application proposes to continue to use the resource as a residence, its historic purpose. Staff recommends that the HLC find that the proposed use will not significantly alter street access, landscape design, footprint or massing of the house and that SRC 230.065 (a) has been met.

(b) *Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods.*

Findings: The application proposal does not impact historic materials, finishes or distinctive features that are currently retained on the property. Staff recommends that the HLC find that 230.065(b) has been met for this portion of the proposal.

(c) *Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity.*

Findings: While the proposal will involve the significant expansion of the existing porch, resulting in this feature extending 5' 5" in front of the existing projecting bay of the resource, this alteration is removable, does not include a porch roof and will not obscure the projecting bay, which is the most distinctive stylistic feature currently associated with the historic character of the house. Staff recommends that the HLC find that 230.065(c) has been met for this portion of the proposal.

(d) *Historic features shall be restored or reconstructed only when supported by physical or photographic evidence.*

Findings: The applicant is not proposing restoration or reconstruction of historic features. Staff recommends that the HLC find that 230.065(d) is not applicable to the evaluation of this proposal.

(e) *Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected.*

Findings: The current porch and staircase are not original to the resource and was added in 2005. To be considered potentially significant, the current porch would need to have been added more than 50 years ago. Therefore, staff recommends that the HLC find that SRC 230.065(e) is not applicable to the evaluation of this proposal.

(f) *Additions and alterations to a historic resource shall be designed and constructed to minimize changes to the historic resource.*

Findings: While the proposal will result in the removal of the existing porch and stairs, these features are not original to the resource, and the sections which abut the original historic siding are limited, thereby minimizing changes to the resource. The proposal is using wooden elements to avoid changes posed by introducing new materials to the resource, and the porch is proposed to be finished to match finishes on the existing resource.

(g) *Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed.*

Findings: While the proposal will result in the extension of the porch flooring in front of the existing projecting bay of the resource, this alteration is removable, does not include a porch roof and will not obscure the distinguishing character defining features of the central projecting bay, thereby minimizing impacts to the resource. In order to ensure that the proposed new flooring and balustrade are compatible in design and to ensure the proposal better meets this Guideline, staff recommends the HLC approve the proposal with the following conditions:

Condition 1: The applicant shall paint the entire porch assembly to match the existing porch.

Condition 2: The applicant shall construct the porch balustrade to match the existing in both design and materials.

(h) Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture or other visual qualities.

Findings: The applicant is not proposing to correct any structural deficiencies. Staff recommends that the HLC find that this Guideline is not applicable to the evaluation of this proposal.

(i) Excavation or re-grading shall not be allowed adjacent to or within the site of a historic resource which could cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources.

Findings: The applicant is not proposing any excavation or regrading in the vicinity of the resource. Staff recommends that the HLC find that this Guideline is not applicable to the evaluation of this proposal.

Based upon the information presented in the application, plans submitted for review, and findings as presented in this staff report, staff recommends that the Historic Landmarks Commission **APPROVE** the proposal with the following Conditions of Approval:

Condition 1: The applicant shall paint the entire porch assembly to match the existing porch.

Condition 2: The applicant shall construct the porch balustrade to match the existing one in both design and materials.

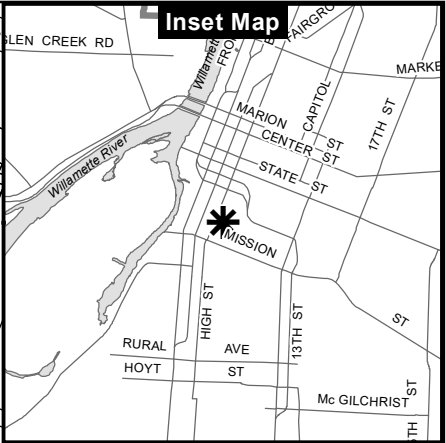
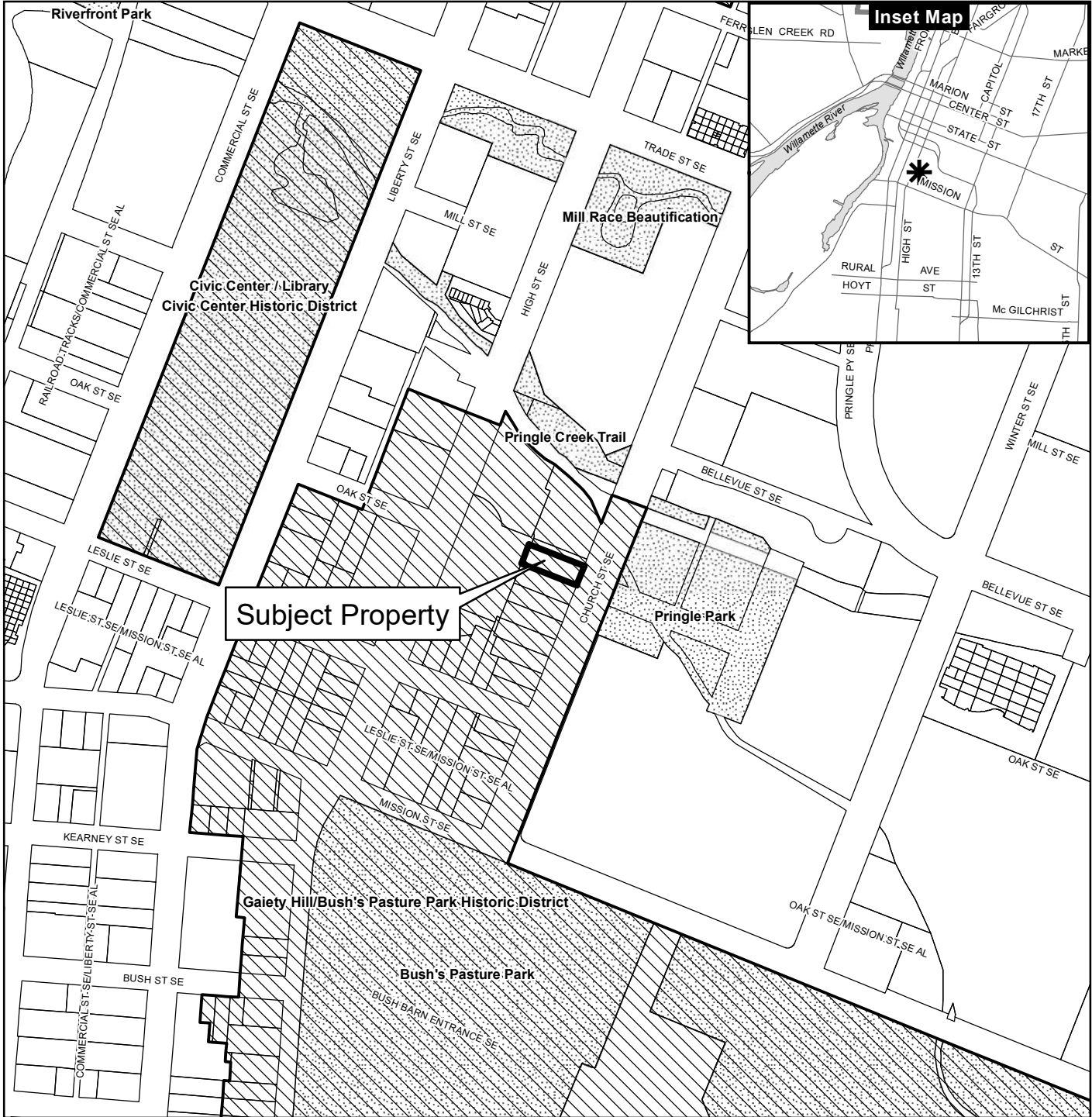
DECISION ALTERNATIVES

1. APPROVE the proposal as submitted by the applicant and indicated on the drawings.
2. APPROVE the proposal with conditions to satisfy specific guideline(s).
3. DENY the proposal based on noncompliance with identified guidelines in SRC 230, indicating which guideline(s) is not met and the reason(s) the guideline is not met.






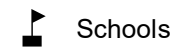

Attachments: A. Vicinity Map
B. Excerpt from National Register Nomination and Historic Design Review Case HIS04-09
C. Applicant's Submittal Materials
D. Comments

Prepared by Jacob Morris, Historic Preservation Planner

Vicinity Map 625 CHURCH ST SE

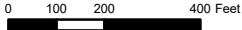


Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.



**FINAL DECISION OF THE
HISTORIC LANDMARKS COMMISSION**

REQUEST: Type II Review by the Historic Landmarks Commission for a basement garage and porch added to a historic house in the Gaiety Hill/Bush's Pasture Park Historic District on approximately 0.21 acres in a RS (Residential Single Family) zone and located at 625 Church Street SE. [Case No. HIS04-9]

APPLICANT: Brent and Teri Koester, Owners

LOCATION: 625 Church Street SE (Marion County Assessor's map page and tax lot numbers: 073W27AC02400)

CRITERIA: Salem Revised Code (SRC) Chapter 120A and the *Development Design Handbook*

FINDINGS:

The Historic Landmarks Commission found that the proposal adequately addresses the applicable standards outlined in the *Development Design Handbook*, specifically standard #7. The addition of a basement does not remove historic materials or features, is located underneath the structure, and has contemporary doors that will distinguish it from the historic building. Redesigning the porch to meet Condition 1 stated below will adequately address the applicable standards.

DECISION:

At its meeting of May 27, 2004, the Historic Landmarks Commission APPROVED the application, subject to the following condition:

1. Work with staff to redesign the front porch to minimize its impact to the historic house through one of the following methods:
 - a. research and design the front porch to reflect its historic configuration based on physical or photographic evidence;
 - b. research and design the front porch to reflect the style of the house based on similar houses in the area; or
 - c. research and design the front porch to reflect the style of 1920s cottages based on published historic plans and trade journals.

Any decision of the Commission pursuant to SRC 120A.110(b) may be appealed by the applicant upon written notice of appeal to the city recorder filed within fifteen days from the date of service of the decision of the Commission. The appeal must be filed in writing and state in what manner the decision failed to adhere to the provision of the City of Salem Zoning Ordinance.

Prepared by Julie Osborne, Senior Planner

Date of Service: June 3, 2004

**HISTORIC LANDMARKS
COMMISSION**

PLANNING DIVISION
555 LIBERTY ST. SE/ROOM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



BEFORE THE HISTORIC LANDMARKS COMMISSION
OF THE CITY OF SALEM
TYPE II-ADMINISTRATIVE REVIEW

I. PROCEDURES

- A. Application Review. Projects subject to review by the Historic Landmarks Commission (HLC) shall be evaluated based upon the provisions contained in Salem Revised Code (SRC) Chapter 120A and the applicable standards in the *Development Design Handbook*.
- B. Historic Landmarks Commission (HLC) Decision. Under SRC 120A.060(a) no development permit shall be issued without approval pursuant to SRC 120A.060-120A-100. The HLC shall approve, conditionally approve, or deny the application on the basis of the project's conformity with the criteria (*Development Design Handbook/Standards*). Conditions of approval, if any, shall be limited to project modifications required to meet the standards in the *Development Design Handbook*.
- C. Appeal. A decision of the HLC may be appealed to the City Council. A written notice of appeal shall be filed with the Planning Administrator within fifteen days of the date of the decision.

II. APPLICATION AND PROPERTY INFORMATION

APPLICANT: Brent and Teri Koester
[Case No. HIS04-9]

LOCATION: 625 Church Street SE (Marion County Assessor's map page and tax lot numbers: 073W27AC02400)

ZONE DISTRICT: RS (Residential Single Family)

CRITERIA: Salem Revised Code (SRC) 120A and the *Development Design Handbook*

ATTACHMENTS: Attachment 1: Tax/Location Map; Public Meeting Notice
Attachment 2: National Register Inventory Form/Photograph
Attachment 3: Applicant's Submittal - Worksheet/Plans/Photographs

III. REQUEST

Type II Review by the Historic Landmarks Commission for a basement garage and porch added to a historic house in the Gaiety Hill/Bush's Pasture Park Historic District on approximately 0.21 acres in a RS (Residential Single Family) zone and located at 625 Church Street SE.

IV. BACKGROUND

See attached excerpt from the National Register nomination form and 1978 photograph from the Salem Library Historic Photograph Collection (Attachment 2). It appears there have been changes made to the front of the house, perhaps in the 1940s or 50s.

V. FINDINGS OF FACT

The *Development Design Handbook* specifies the Design Standards applicable to this project. The applicant has submitted the Administrative Design Review worksheet and responded to each of the standards (Attachment 3).

BASEMENT GARAGE:

Applicant's Comments: Discussions between staff and the applicants revealed that structural problems are substantially undermining the integrity of the home and the basement must be replaced. At the same time, a garage is a desirable addition. Due to the instability of the soils on the site, the applicants indicated the best solution to meet the two goals is to add a garage to the basement. They have also indicated that the lack of maneuvering space at the side and rear of the house makes it unfeasible to locate the basement garage on the south or west sides. Additionally, the hydrostatic pressure in the rear yard and the lack of maneuvering space make it difficult to construct a separate garage in the rear. The applicants indicate they have explored many options, with this being the most favorable for meeting all of the concerns. The applicants provided a list of other homes in the neighborhood that have basement garages at the following locations:

- 690 High (1938)
- 485 Leslie (c.1955)
- 475 Leslie (1930)
- 445 Leslie (c.1955)
- 425 Leslie (c.1955)
- 690 Liberty (c.1959)

Staff Response: The introduction of a basement garage is a change in the appearance of the front of the house. Based on the scope of work as presented by the applicants for the introduction of a basement garage, staff considers this part of the proposal to meet the standards of the *Development Design Handbook*, specifically standard #7. The proposal is an addition to the basement which does not remove historic materials or features, is located underneath the structure, and has contemporary doors that will distinguish it from the historic building.

FRONT PORCH:

It appears from the existence of two sets of French doors, one on either side of the entrance, that some type of landings and/or porch previously existed. The configuration, size and railing dimensions of those landings or porch have not been supported by historic physical or photographic evidence (standard #3). The proposed porch does not minimize the impact to the appearance of the historic structure (standard #7). Therefore, it is recommended that the applicants research and redesign the porch based on the original appearance of the front, examples of other homes of this period (1920s) in the area, or historic plan or trade journals.

Based on a discussion with the City of Salem Building and Safety Administrator, with the introduction of the basement garage, a landing on the south end of the east elevation with dimensions that are the width of the opening of the French doors and at least three feet in depth must be provided.

VI. NEIGHBORHOOD ASSOCIATION, PRIVATE AND PUBLIC SECTOR COMMENTS:

One comment was received from a neighbor stating support for the garage and complimenting the applicants for improving the condition and appearance of the property.

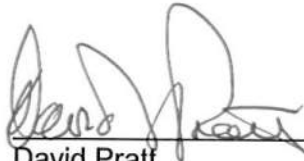
VII. RECOMMENDATION:

Based on the information presented in the application and plans submitted for review, staff recommends APPROVAL of the proposal with the following condition:

1. Redesign the front porch to minimize its impact to the historic house through one of the following methods:
 - a. research and design the front porch to reflect its historic configuration based on physical or photographic evidence;
 - b. research and design the front porch to reflect the style of the house based on similar houses in the area; or
 - c. research and design the front porch to reflect the style of 1920s cottages based on published historic plans and trade journals.

VIII. DECISION ALTERNATIVES

- A. Approve the proposal.
- B. Approve the proposal with conditions.
- C. Deny the proposal based on one of the standards in the *Development Design Handbook*.



David Pratt
Urban Planning Administrator

Prepared by: Julie Osborne, Senior Planner

G:\Group\CD\PLANNING\Historic\staff reports HLC\625 church HIS04-9.wpd

United States Department of the Interior
National Park Service

National Register of Historic Places
Inventory—Nomination Form

For NPS use only
received
date entered

Continuation sheet

Item number 7

Page 21

The house was built for Mr. and Mrs. Fred Keeler in 1938. He was the first president of American Federal Savings and Loan in Salem. They lived in the house for 35 years. The house was designed by Norlin R. Wolfe and built by PABCO Protected Homes (Sam Holmes). The current owners have the original blueprints, receipts from supplies and other items when the house was built.

- 16 Church, 582 High Street S.E.; Assessor's Map 27AC073W 073W-27AC-02600
Owner: Woodland Chapel and Library, 582 High Street S.E., Salem, OR 97301

Non-
Compatible

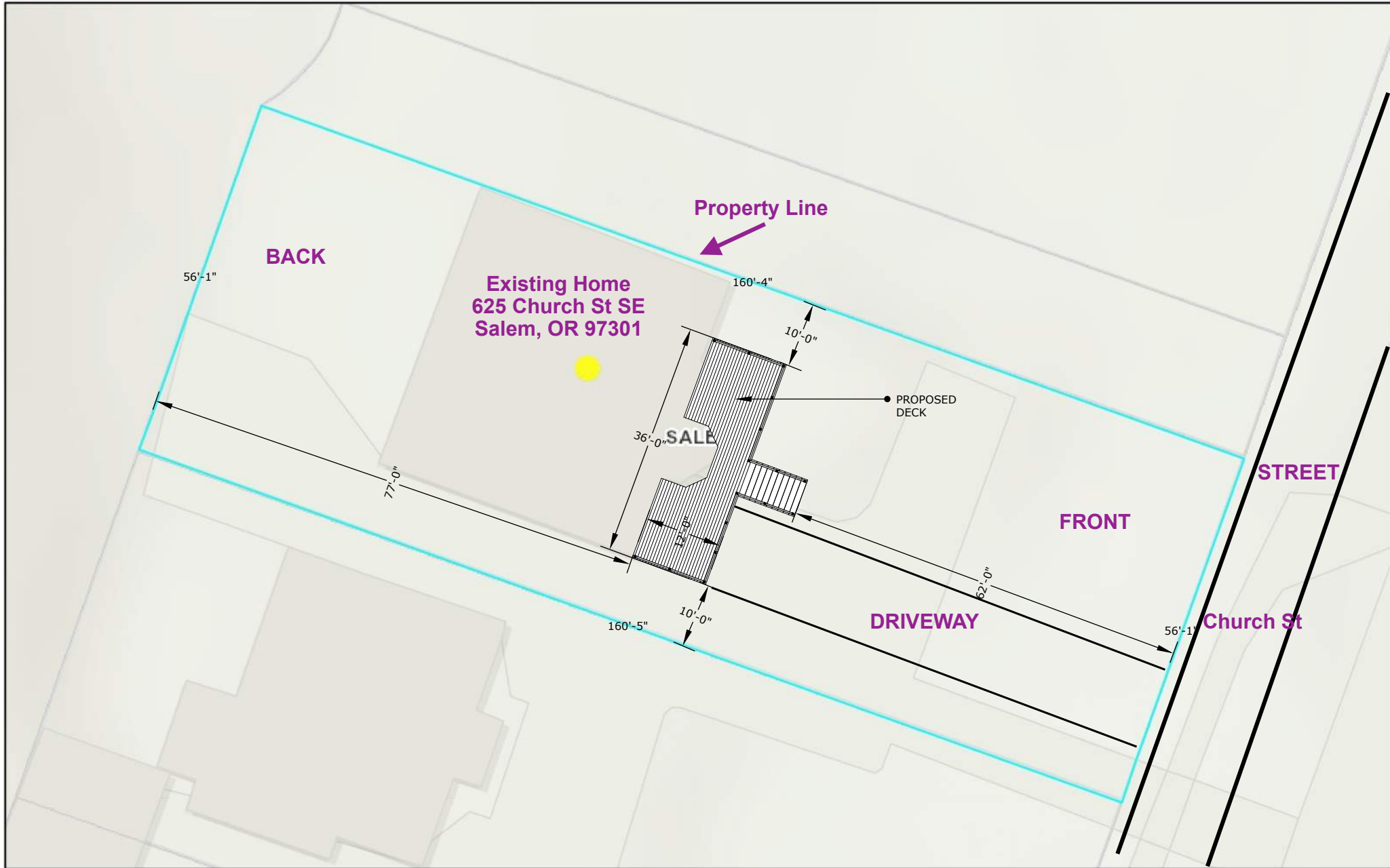
Description: Modern Church Architecture Showing Some Influence of the Northwest Regional Style - Ca. 1955; a steep gable roof wooden structure which is rectangular in shape. The two leaf main entrance doors have three panels each. Over the entrance are ten narrow horizontal windows separated with two "V" shaped transom bars. The church sits in a landscaped environment on the lower part of Gaiety Hill next to Pringle Creek.

- 17 Bungalow Residence, 625 Church Street S.E.; Assessor's Map 27AC073W 073W-27AC-02400
Owner: First Church of Religious Science, P.O. Box 2103, Salem, OR 97301

Secondary

Description: Bungalow - Ca. 1920; a one story, rectangular structure of wood frame construction. The hip-on-gable roof has open eaves with rafters exposed. The composition shingle roof has a three-sided hip roof over the center front door. It has beveled siding and plain trim around door and windows. Two single casement windows with eight panels are on each side of the windowed entry porch.





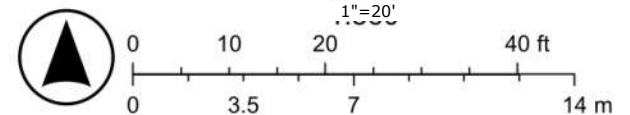
12/10/2025, 6:58:38 PM

- Local Geolocator
- ArcGIS World Geocoding Service

- Roads
- State Roads

- County Roads
- NCR, Limited Maintenance
- Non County Roads
- County Owned, City Maintained

- City Roads
- Federal Roads
- Private Roads
- Parcels
- Urban Growth Boundary
- City Boundaries
- County Boundary
- World_Hillshade



Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland,

625 Church Street SE Salem, OR 97301

SRC 230.025(d) *Porches*. Replacement of porches on historic contributing buildings shall be allowed only where the owner has attempted to repair the original porch, but repair was not feasible due to the poor condition of the original materials. If the porch is not original then every effort shall be made to replicate the original porch; the effort shall be substantiated by historic, physical, or pictorial evidence. If the porch cannot be replicated then it should be of a compatible design and material.

(1) *Materials*. All features of the porch shall be replaced with material that duplicate, to the greatest degree possible, the appearance and structural qualities of the original porch.

Response: The existing porches were not original, but have been constructed to match the traditional materials and construction techniques. We are proposing a complete cedar construction (eventually to be primed and painted white) using the same materials of the era. Classic cedar picket handrail. Port Orford cedar deck boards.

(2) *Design*. The overall design of the porch shall reproduce, to the greatest degree possible, the appearance of the original porch

Response: Noting that the existing porches are not original as this house was raised in 2004. The house has two offset French doors that currently have no ingree/egress. The proposed simple replication of materials and construction methods to preserve the historical nature of the property have been integrated into this design. The proposed porch design is of the same type of the existing porch. The proposed porch does not have any extra features (roof/ etc.) and is an attempt to recreate the original intention of the front porch as designed. The modest expansion allowing one continual porch rather than the current 3 isolated porches is an attempt to bring back the full front porch this property originally called for on the East side of the house in classic craftsman style. We believe this project is of moderate scale and maintains the historical integrity of the neighborhood. Thank you for your consideration



Before image



View of property from Church Street. Lot setback is approximately 70 feet.



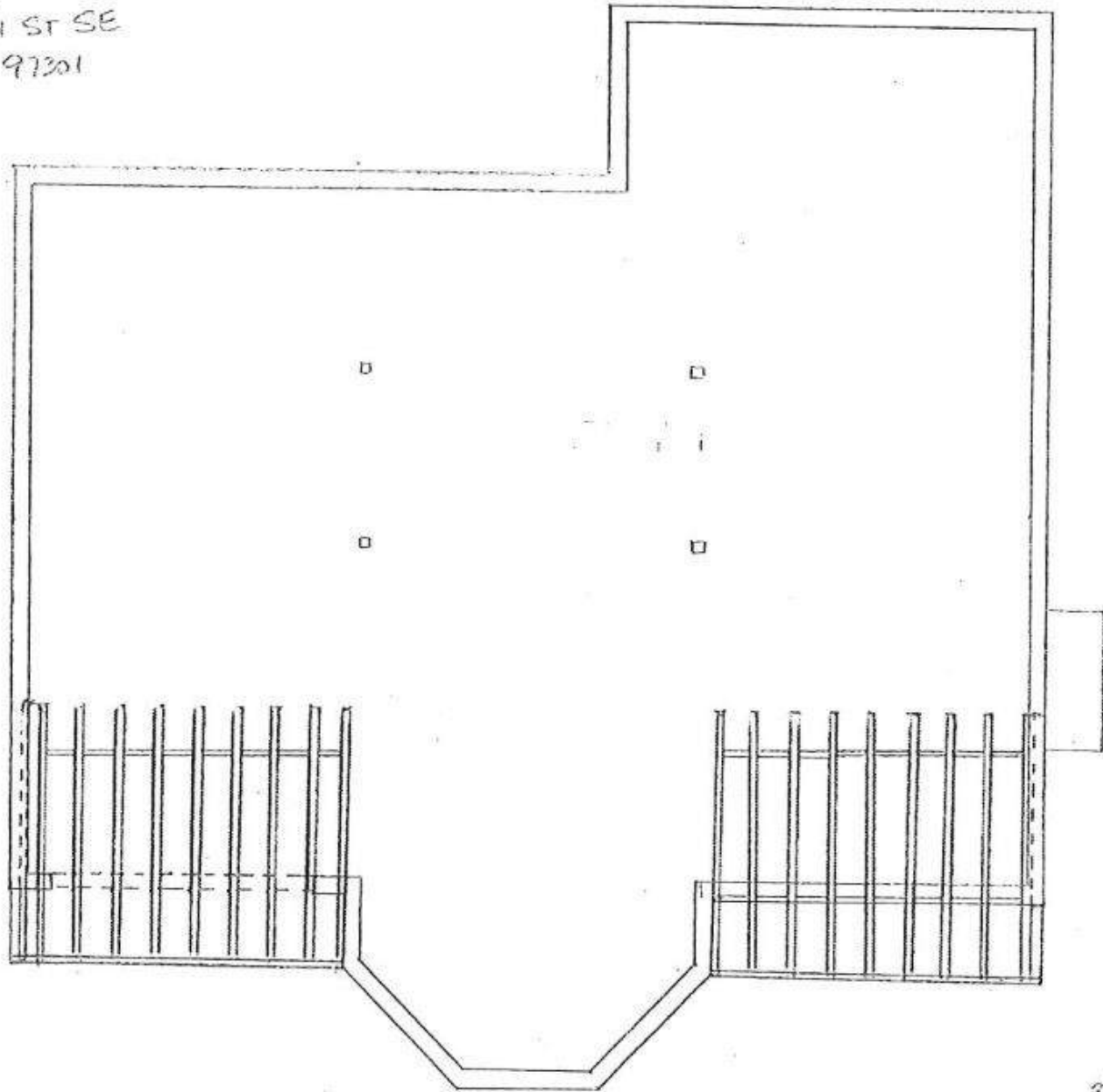
625 Church S.

c.1925

Item Description

PHOTO ID	K308
TITLE	625 Church Street South, Salem, Oregon, 1978
COLLECTION	Special Collections
DESCRIPTION	This is a photo of a house in Salem, Oregon, taken by Bob Koval in 1978 as part of a CETA grant project to make a photographic record of historic Salem homes. This house, constructed in c. 1925, is located at 625 Church Street South. The architectural characteristics of this one and one half story wood frame house include a side facing clipped gable roof with exposed rafters and a brick chimney on the right side of the house. The projecting front porch has a hipped roof. The entrance has probably been altered. There is a front lawn with bushes and shrubs in the front of the house. The architectural style is the Bungalow style.

KOESTER
HURCH ST SE
OK. 97301



3/16/10

Image of porch plan from 2005.

Sheet Index

- 1 Deck 1 Framing
- 2 Deck 1 Layout
- 3 Deck 1 Side Ele
- 4 Deck 1 Front Ele
- 5 Details
- 6 Stair Details
- 7 Specs
- 8 Design Report



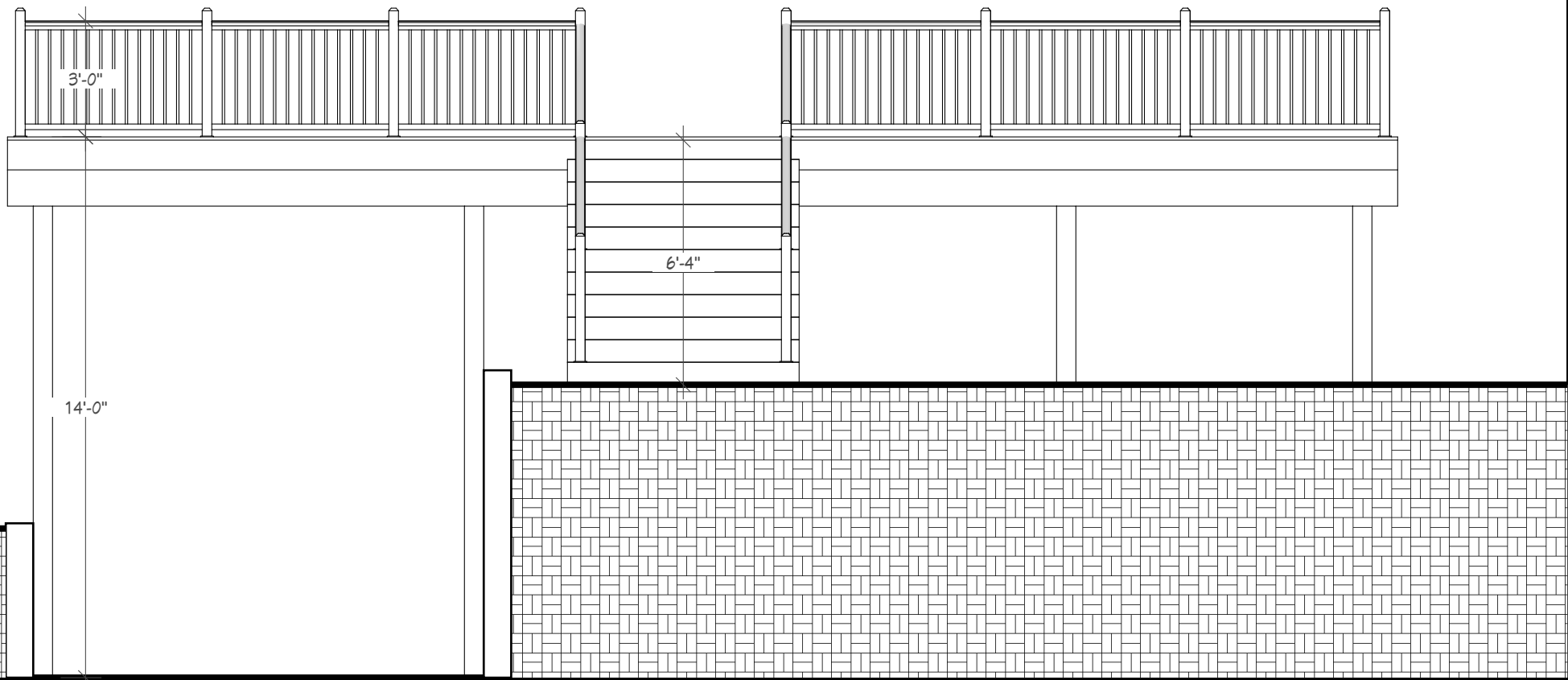
Drawings Provided By:
OnPoint Fencing and Decking
3511 Boone Rd Salem, OR 97317

Project Client:
Address: 625 Church Street SE
Salem, OR 97301

Date:
November 19, 2025

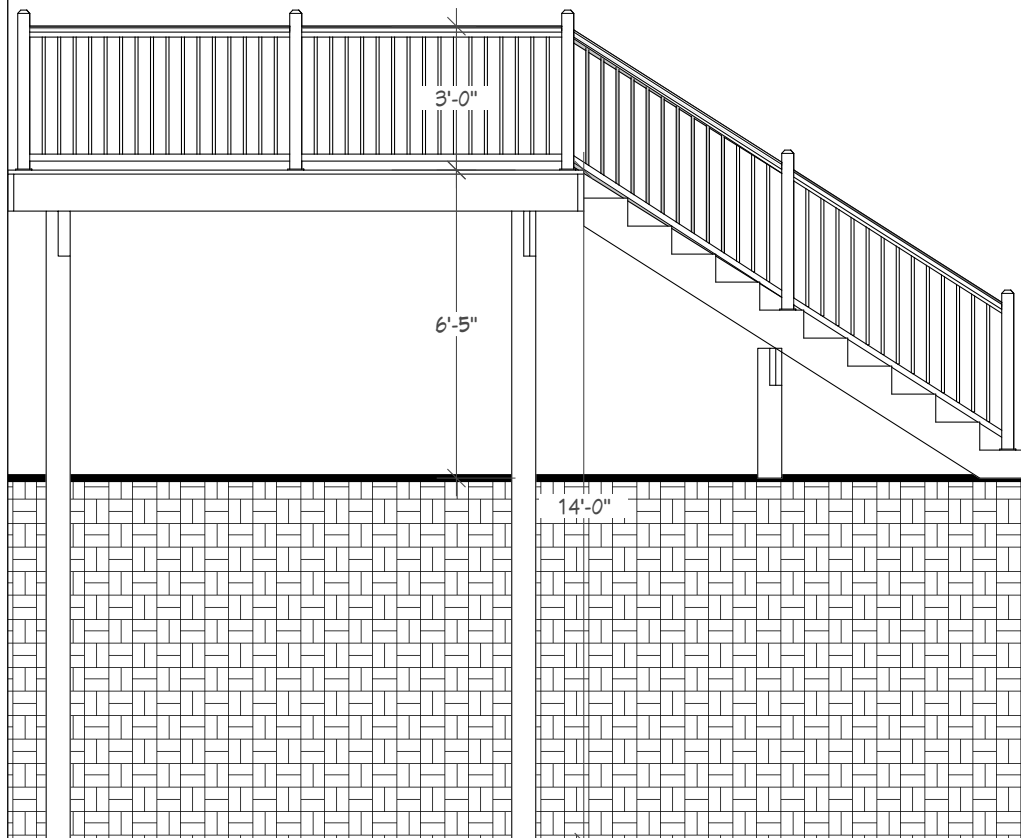
Scale:
Per Plan

Sheet:
4



FRONT ELEVATION

Scale : 1/4" = 1'-0"



LEFT ELEVATION

Scale : 1/4" = 1'-0"

Sheet Index

- 1 Deck 1 Framing
- 2 Deck 1 Layout
- 3 Deck 1 Side Ele
- 4 Deck 1 Front Ele
- 5 Details
- 6 Stair Details
- 7 Specs
- 8 Design Report



Drawings Provided By:
 OnPoint Fencing and Decking
 3511 Boone Rd Salem, OR 97317

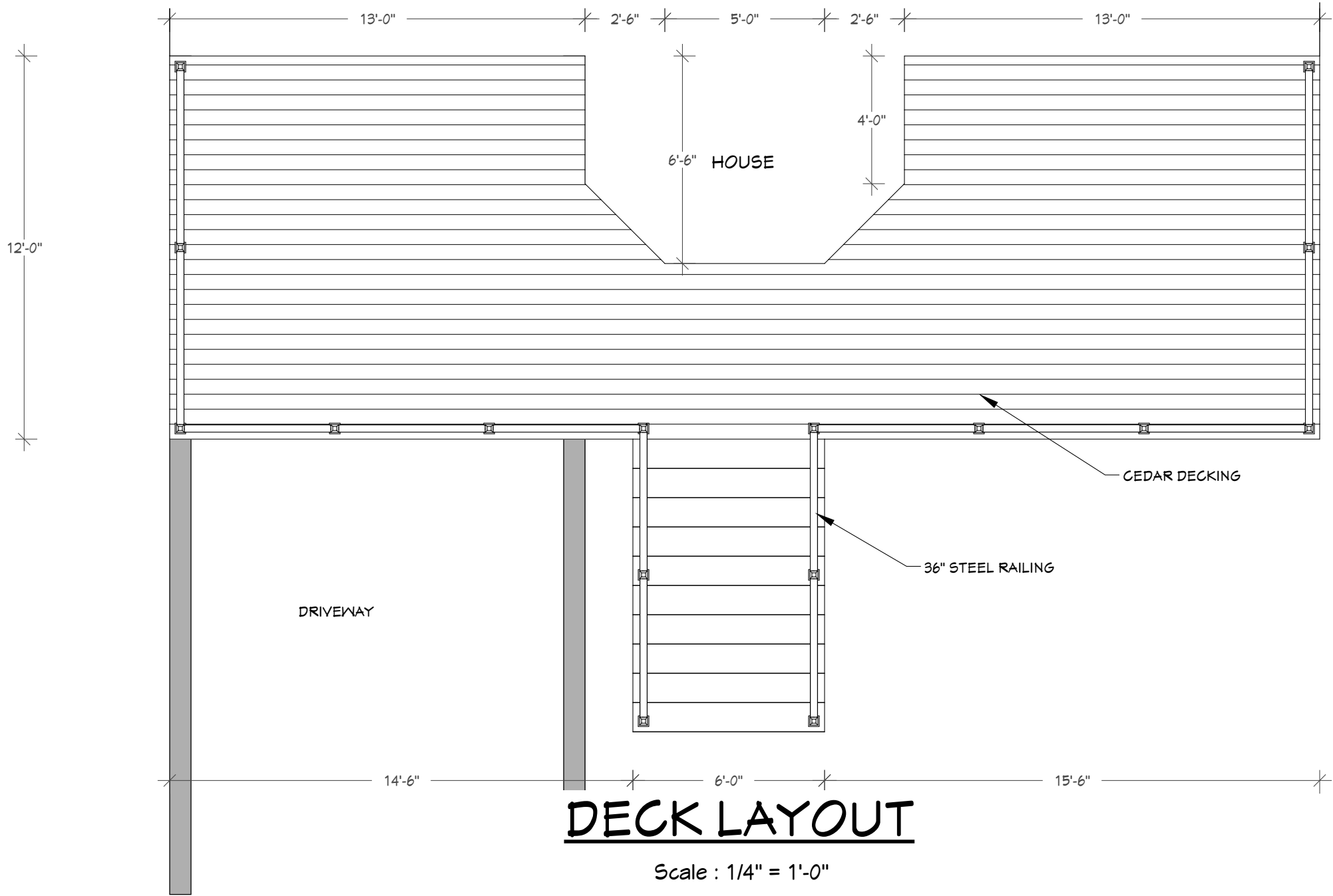
Project Client:
 Address: 625 Church Street SE
 Salem, OR 97301

Date:
 November 19, 2025

Scale:

Per Plan

Sheet:
 3



DECK LAYOUT

Scale : 1/4" = 1'-0"

Sheet Index

- 1 Deck 1 Framing
- 2 Deck 1 Layout
- 3 Deck 1 Side Ele
- 4 Deck 1 Front Ele
- 5 Details
- 6 Stair Details
- 7 Specs
- 8 Design Report



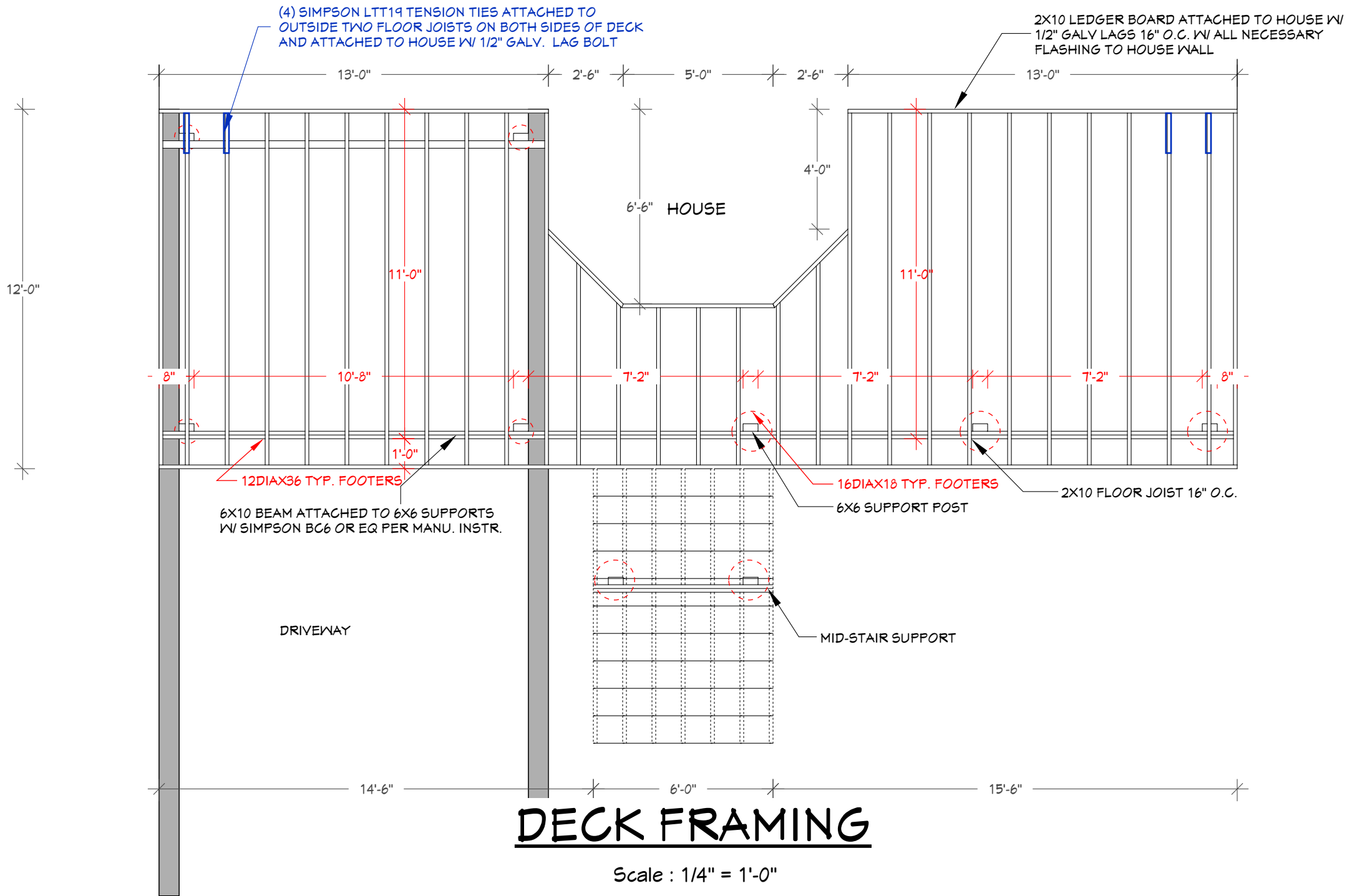
Drawings Provided By:
 OnPoint Fencing and Decking
 3511 Boone Rd Salem, OR 97317

Project Client:
 Address: 625 Church Street SE
 Salem, OR 97301

Date:
 November 19, 2025

Scale:
 Per Plan

Sheet:
 2



Sheet Index

- 1 Deck 1 Framing
- 2 Deck 1 Layout
- 3 Deck 1 Side Ele
- 4 Deck 1 Front Ele
- 5 Details
- 6 Stair Details
- 7 Specs
- 8 Design Report



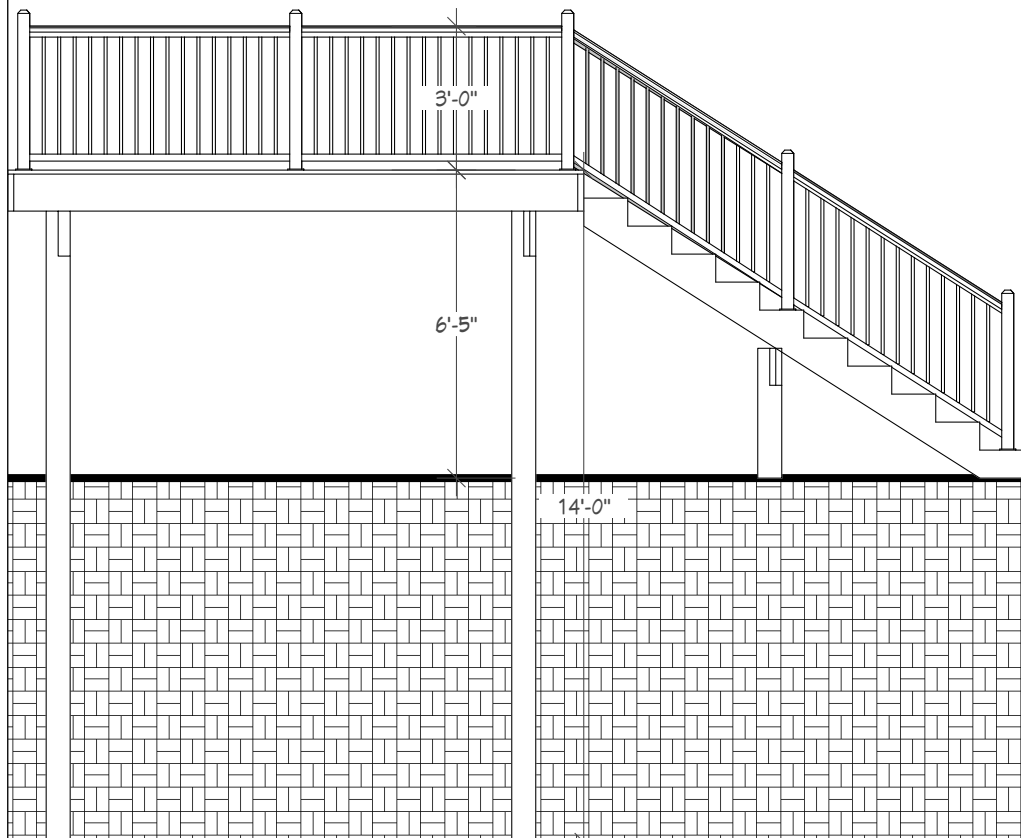
Drawings Provided By:
 OnPoint Fencing and Decking
 3511 Boone Rd Salem, OR 97317

Project Client:
 Address: 625 Church Street SE
 Salem, OR 97301

Date:
 November 19, 2025

Scale:
 Per Plan

Sheet:
 1



LEFT ELEVATION

Scale : 1/4" = 1'-0"

Sheet Index

- 1 Deck 1 Framing
- 2 Deck 1 Layout
- 3 Deck 1 Side Ele
- 4 Deck 1 Front Ele
- 5 Details
- 6 Stair Details
- 7 Specs
- 8 Design Report



Drawings Provided By:
 OnPoint Fencing and Decking
 3511 Boone Rd Salem, OR 97317

Project Client:
 Address: 625 Church Street SE
 Salem, OR 97301

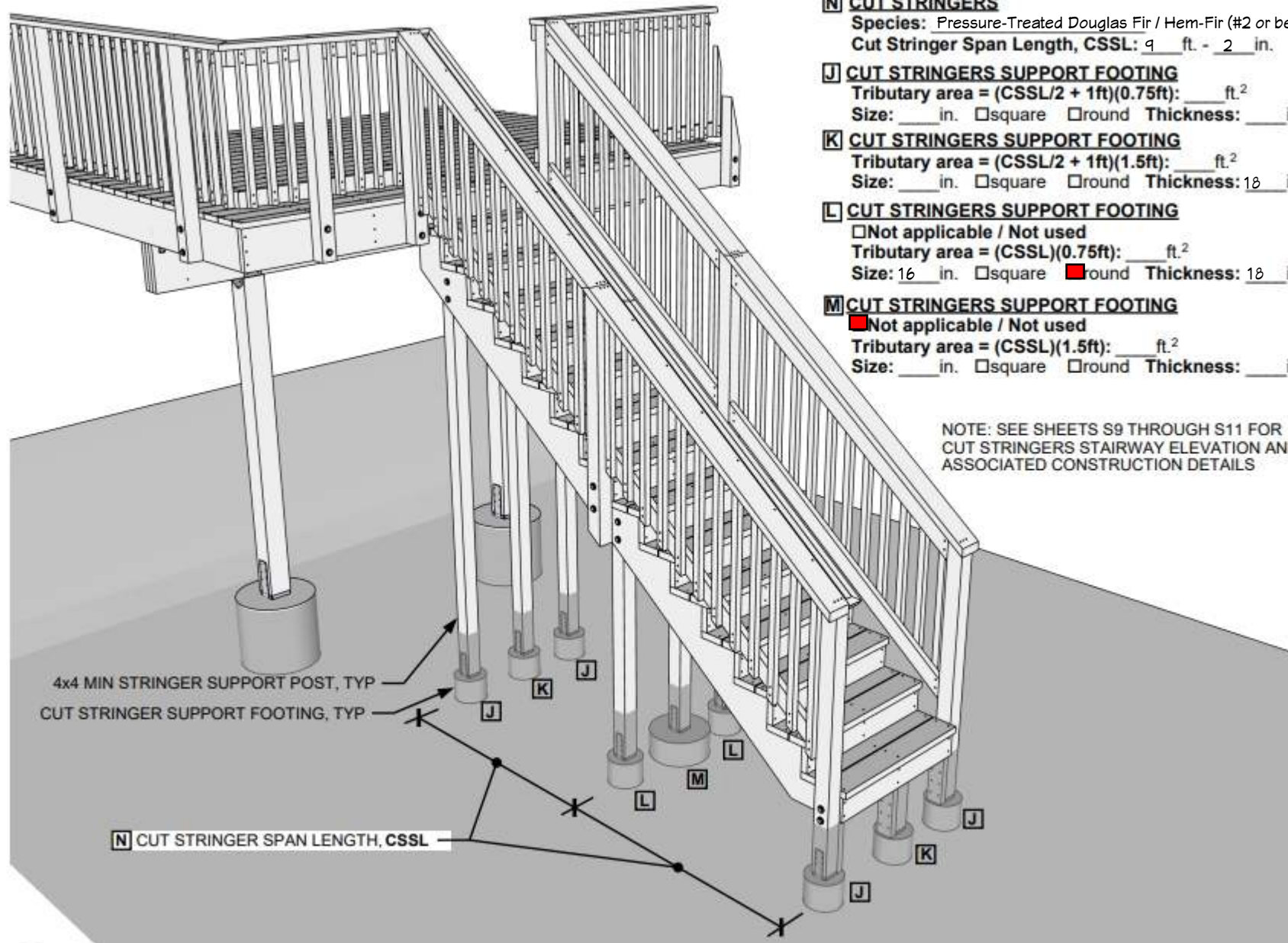
Date:
 November 19, 2025

Scale:

Per Plan

Sheet:
 3

WHERE USING SHEETS S8-S11 FOR CUT STRINGERS STAIRWAY CONSTRUCTION, THE PERMIT APPLICANT SHALL PROVIDE THEIR PROJECT-SPECIFIC CUT STRINGER AND FOOTING INFORMATION BELOW PRIOR TO PERMIT APPLICATION:



N CUT STRINGERS

Species: Pressure-Treated Douglas Fir / Hem-Fir (#2 or better)
 Cut Stringer Span Length, CSSL: 9 ft. - 2 in.

J CUT STRINGERS SUPPORT FOOTING

Tributary area = $(CSSL/2 + 1ft)(0.75ft)$: ft.²
 Size: in. square round Thickness: in.

K CUT STRINGERS SUPPORT FOOTING

Tributary area = $(CSSL/2 + 1ft)(1.5ft)$: ft.²
 Size: in. square round Thickness: 18 in.

L CUT STRINGERS SUPPORT FOOTING

Not applicable / Not used
 Tributary area = $(CSSL)(0.75ft)$: ft.²
 Size: 16 in. square round Thickness: 18 in.

M CUT STRINGERS SUPPORT FOOTING

Not applicable / Not used
 Tributary area = $(CSSL)(1.5ft)$: ft.²
 Size: in. square round Thickness: in.

NOTE: SEE SHEETS S9 THROUGH S11 FOR CUT STRINGERS STAIRWAY ELEVATION AND ASSOCIATED CONSTRUCTION DETAILS

Sheet Index

- 1 Deck 1 Framing
- 2 Deck 1 Layout
- 3 Deck 1 Side Ele
- 4 Deck 1 Front Ele
- 5 Details
- 6 Stair Details
- 7 Specs
- 8 Design Report



Drawings Provided By:
 OnPoint Fencing and Decking
 3511 Boone Rd Salem, OR 97317

Project
 Client:
 Address: 625 Church Street SE
 Salem, OR 97301

Date:
 November 19, 2025

Scale:

Per Plan

Sheet:
 6

A DECKING [R507.7] (Sheet S16)

Material: preservative-treated naturally durable (e.g. cedar) plastic composite
Nominal Size: 2-inch-thick wood 5/4-in-thick wood plastic composite (attach report)
Orientation: perpendicular to joists diagonal to joists

B JOISTS [R507.6] (Sheets S18-19)

Species: Pressure-Treated Douglas Fir / Hem-Fir (#2 or better)
Size: 2x6 2x8 2x10 2x12
Spacing: 12 in. 16 in. 24 in.
Deck Joist Span Length, DJSL (Sheet 2): 11 ft. - in.
Deck Joist Cantilever Length, DJCL (Sheet 2): ft. - in.

C BEAMS [R507.5] (Sheets S24-27)

Species: Pressure-Treated Douglas Fir / Hem-Fir (#2 or better)
Plies: 1 2 3
Size: 2x6 2x8 2x10 2x12 x (subject to review) **or Equal 6x10 Beam**
Deck Beam Span Length, DBSL (Sheet 3): 10 ft. - 8 in.
Deck Beam Cantilever Length, DBCL (Sheet 3): ft. - 8 in.

D POSTS [R507.4] (Sheets S20-S21)

Species: Pressure-Treated Douglas Fir / Hem-Fir (#2 or better)
Height: 12 ft. - 2 1/2 in.
End posts & footings tributary area = (DJSL/2 + DJCL)(DBSL/2 + DBCL): 40 ft.²
End posts size: 4x4 4x6 6x6 8x8
Mid posts & footings tributary area = (DJSL/2 + DJCL)(DBSL): 50 ft.²
Mid posts size: 4x4 4x6 6x6 8x8

E FOOTINGS [R507.3] (Sheets S22-S23 using same tributary area as supported post)

End footings size: in. square round Thickness: in. **per plan**
Mid footings size: in. square round Thickness: in.

F LEDGER [R507.9.1] (Sheet S17)

Size: 2x8 2x10 2x12
Fasteners: 1/2" through-bolts 1/2" lag screws alternate (attach report)
Fastener spacing: 16 in. on-center

G LATERAL LOAD CONNECTION [R507.9.2]

(4) 750 pound hold-down tension devices (detail 1/S4)
 (2) 1,500 pound hold-down tension devices (detail 2/S6)
 code-compliant alternate (attach details/report)

NOTE: THE PERMIT APPLICANT SHALL PROVIDE THEIR PROJECT-SPECIFIC PRESCRIPTIVE DESIGN BY CHECKING THE APPLICABLE BOXES AND ENTERING THE APPROPRIATE INFORMATION ABOVE PRIOR TO PERMIT APPLICATION.

1 Project-Specific Design Parameters
S28

CLIMATIC DESIGN CRITERIA

The permit applicant shall obtain a site-specific summary report from the Oregon Design Criteria Hub and attach it to this permit-ready plan. The Oregon Design Criteria Hub can be accessed here: <https://www.oregon.gov/bcd/codes-stand/Pages/design-criteria.aspx>. The summary report provides the ground snow load, frost line depth, and weathering and decay potential needed to check the climatic design criteria boxes below.

GROUND SNOW LOAD (psf) [R301.2]:

≤ 40 ≤ 50 ≤ 60 ≤ 70

FROST LINE DEPTH (inches) [R301.2]

12 18 24

WEATHERING POTENTIAL [R301.2]

moderate (use 3,000 psi min concrete)
 severe (use 3,500 psi min concrete)

DECAY POTENTIAL [R301.2]

slight moderate

H GUARD SYSTEM [R507.10]

details 1-3/S05 & 1/S06
 code-compliant alternate system (attach details/report)

I STAIRWAY [R311.7]

not provided/not applicable (N/A)
 cut stringers - using sheets S7-S11 (provide project-specific info on sheet S8)
 solid stringers - using sheets S7, S12-S15 (provide project-specific info on sheet S12)
 code-compliant alternate system (attach details/report)

Sheet Index

- 1 Deck 1 Framing
- 2 Deck 1 Layout
- 3 Deck 1 Side Ele
- 4 Deck 1 Front Ele
- 5 Details
- 6 Stair Details
- 7 Specs
- 8 Design Report



Drawings Provided By:
OnPoint Fencing and Decking
3511 Boone Rd Salem, OR 97317
Project Client:
Address: 625 Church Street SE
Salem, OR 97301

Date:
November 19, 2025

Scale:

Per Plan

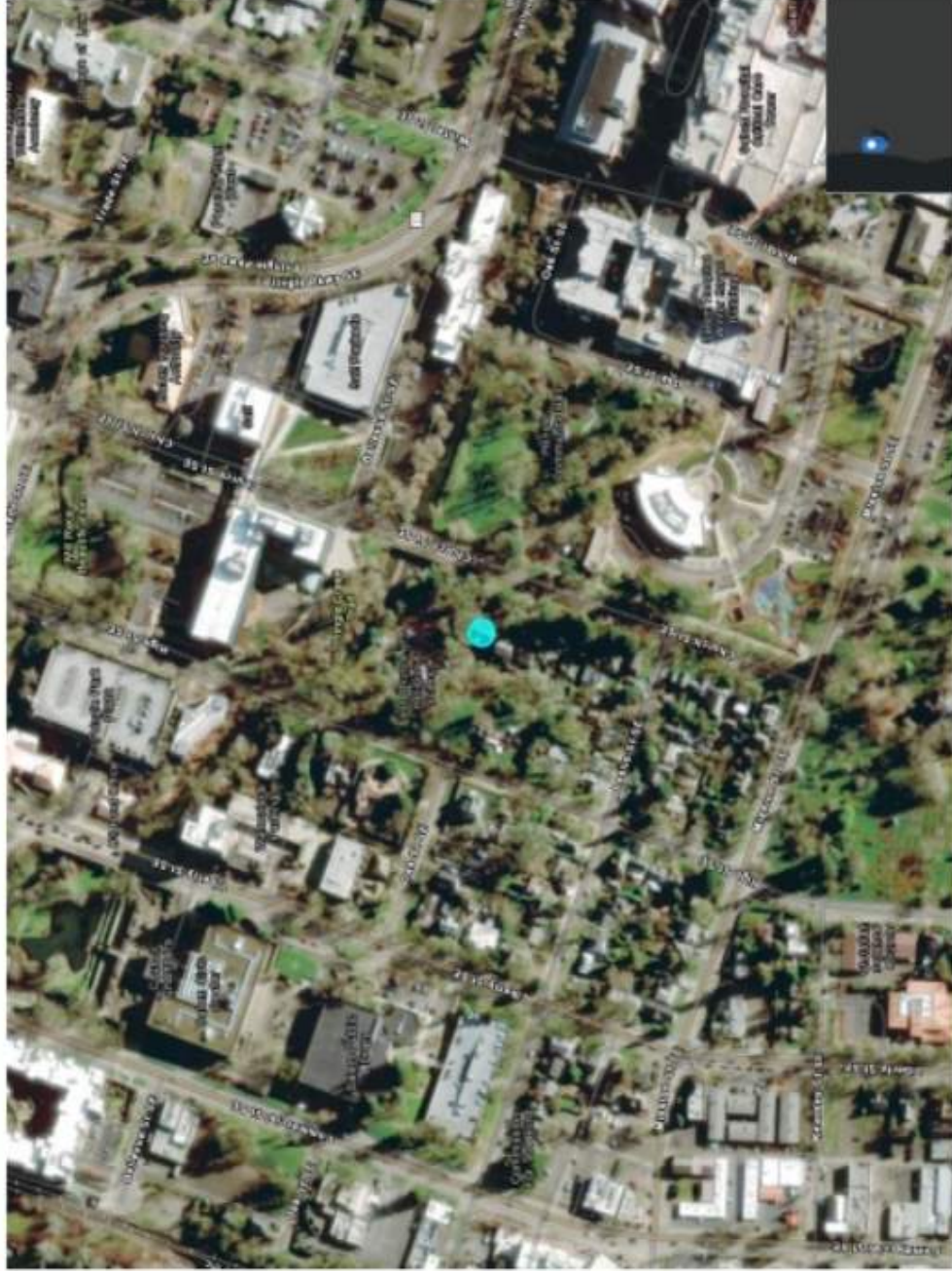
Sheet:
7



Design Criteria Hub Report ORSC 2023

625 Church St SE, Salem, Oregon, 97301
Latitude / Longitude: 44.9344 -123.0386

Area of Interest



Site-Specific Climatic and Geographic Design Criteria

County	Marion County
Ground Snow Load	9 psf
Code minimum Ground Snow Load for prescriptive design	36 psf
Basic Wind Speed	98 mph
Seismic Design Category	D ₀
Weathering Potential	Moderate
Frost line depth	12 inches
Decay Potential	Moderate
Air Freezing Index	< 1,500

See [Section R301.2](#) of the 2023 [Oregon Residential Specialty Code](#) for more information.

1 Report generated: November 18, 2025 02:05 PM

Date:
November 19, 2025

Scale:

Per Plan

Sheet:
8

Drawings Provided By:
OnPoint Fencing and Decking
3511 Boone Rd Salem, OR 97317
Project Client:
Address: 625 Church Street SE
Salem, OR 97301



Sheet Index
1 Deck 1 Framing
2 Deck 1 Layout
3 Deck 1 Side Ele
4 Deck 1 Front Ele
5 Details
6 Stair Details
7 Specs
8 Design Report

Jake Morris

From: Christine Chute
Sent: Wednesday, April 8, 2026 10:53 AM
To: Jake Morris
Cc:
Subject: [EXTERNAL]SCAN?HPPG comments on 625 Church St.
Attachments: SCAN HPPG 625 Church St Comments to HLC.docx

Greetings,

Comments from the Historic Preservation, Parks, and Gardens Committee of the South-Central Association of Neighbors are attached. Thank you for giving the Neighborhood Association a chance to comment.

If you have questions or would like more information, please let me know.

Christine

--

Christine Chute, Chair
HPPG
SCAN

CAUTION! This email came from outside the City of Salem. Do not click links or open attachments unless you recognize the sender. For guidance on identifying legitimate senders/emails, please review the IT Intranet Cyber Security Page.

RESPONSE TO REQUEST FOR COMMENTS

REGARDING: Class 3 Major Historic Design Review Case No. HIS26-05

AMANDA NO.: 26-105433-PLN

PROJECT ADDRESS: 625 Church St SE, Salem OR 97301

HEARD BY: Historic Landmarks Commission

PLEASE CHECK THE FOLLOWING ITEMS THAT APPLY:

1. We have reviewed the proposal and have no comments.

2. We have reviewed the proposal and have the following comments:

The notice provided to the Neighborhood Association does not contain a reference to applicable standards and is insufficient. Even if the notice is deemed sufficient, the City should not permit the addition of a large new deck to the primary façade of a contributing feature in the Historic District.

The notice provided to SCAN does not contain a reference to applicable standards. The homeowners' proposal to build a large new deck on the primary façade at 625 Church St. SE cites only SLC 230.025(d), which relates to repair or replacement of "original" porches.¹ In chapter 230, "Original means the component was constructed on or added to the building during the period of significance." SRC 230.005. The period of significance for the Historic District recognized by the National Register of Historic

¹ SLC 230.025(d) states, in pertinent part:

Porches. Replacement of porches on historic contributing buildings shall be allowed only where the owner has attempted to repair the original porch, but repair was not feasible due to the poor condition of the original materials. If the porch is not original then every effort shall be made to replicate the original porch; the effort shall be substantiated by historic, physical, or pictorial evidence. If the porch cannot be replicated then it should be of a compatible design and material.

(1) *Materials.* All features of the porch shall be replaced with material that duplicate, to the greatest degree possible, the appearance and structural qualities of the original porch

(2) *Design.* The overall design of the porch shall reproduce, to the greatest degree possible, the appearance of the original porch.

Places is 1878-1938. SLC 230.025(d) applies only to porches in existence at some time during that period.

The currently existing porches at 625 Church St. SE were not added until sometime after 1978, according to the photograph provided with the application, a date that is decades outside the period of significance.² Therefore, SLC 230.025(d) does not apply to permit replacement of these porches. There was no “original” porch to replace or repair.

No other provision that might allow creation of a new large deck has been cited in either the application or the notice. We cannot tell what standards might apply to this proposal, if indeed any standards apply that might permit it.

The purpose of SRC chapter 230 is to preserve Salem’s historic resources to the greatest extent practicable. To that end, the Historic Landmark Commission must ensure that proposed alterations to a historic resource are “designed and constructed to minimize changes to the historic resource.” SLC 230.065(f) (Emphasis added.)

The new deck that is proposed for 625 Church St. SE does not “minimize” changes to the house.³ Indeed, it could be said to “maximize” changes. The proposal changes the entire primary façade in significant ways. First, two relatively small balconies would be enlarged and joined across nearly the entire façade of the house. Second, the new deck would reach 12 feet into the front yard. The new deck would occupy approximately 400 square feet⁴ more than the existing non-historic balconies. It would be at least twice the size of the existing balconies. It would create what is in effect a carport in front of the non-historic garage. The proposed deck would be a significant and substantial alteration of the primary façade of this contributing house and should not be approved.

A little context may help understand why this proposal is so inappropriate. The nearest houses along this part of Church Street share certain characteristics. They present their fronts and main entrances to Church Street, some with a wooded setback that provides a substantial front yard. They are near Pringle Creek, with its significant bridge.

² Neighbors say that the balconies were added after the house was raised, around 2004, but SCAN has not yet documented the date. At the same time, according to neighbors, the historic windows on either side of the front door were exchanged for the existing French doors.

³ We are not sure whether the addition of balconies and French doors complied with the Salem Revised Code. Perhaps they were deemed necessary after the house was raised.

⁴ It is hard to tell the precise amount of increased decking because the dimensions of the existing non-historical balconies are not stated.

The three nearest residences, with their windows, mature trees, and park-like settings, establish a formality and sense of order that creates a small-scale sense of elegance. The houses, without large front decks, create a charming ensemble of 1920s homes – homes that are well-integrated visually with each other. The proposal does not respect this important sense of unity.

We accept the notion that the home's entry stairs may need repair and replacement. We do not object to that work, so long as it is done with sensitivity to historic design and materials. We support safe access to this wonderful historic home. The homeowners could be encouraged to apply for a Tool Box grant. The substantial proposed additional decking, which may be eventually painted, goes far beyond what is either necessary or desirable for this residence and should not be allowed.

Respectfully submitted,

Name/Agency: Christine Chute, Chair; Historic Preservation, Parks, and Gardens Committee; South Central Association of Neighbors (SCAN).

Address:

Email: cachute@gmail.com

Phone No.: 503-851-0322

Date: April 8, 2026, submitted via email to jjmorris@cityofsalem.net

Jake Morris

From: SUSAN MILLER <gsmilleror@msn.com>
Sent: Tuesday, March 31, 2026 1:09 PM
To: Jake Morris
Subject: [EXTERNAL]625 Church St. SE - HIS26-05

Mr. Morris,

I live at 540 Leslie St. SE and have been in this neighborhood for 41 years.

I became concerned when I read the plan for adding on the front porch at 625 Church St.SE.

I think the design is fine, but the comment that it would be painted later is troublesome. Do you plan to enforce this idea of "later" to make sure it is actually done? We say "later" many times when it gets done years later or never. I think the paint should be required as part of the plan to be completed now.

I tried to leave my comment at <https://egov.cityofsalem.net/PlanningComments> but it said there was no plan HIS26-05.

Thank you.

Sincerely,
Susan Miller

CAUTION! This email came from outside the City of Salem. Do not click links or open attachments unless you recognize the sender. For guidance on identifying legitimate senders/emails, please review the IT Intranet Cyber Security Page.